

# 333 CHAMBERS STREET COMMERCIAL DEVELOPMENT

333 Chambers Street  
Trenton, New Jersey

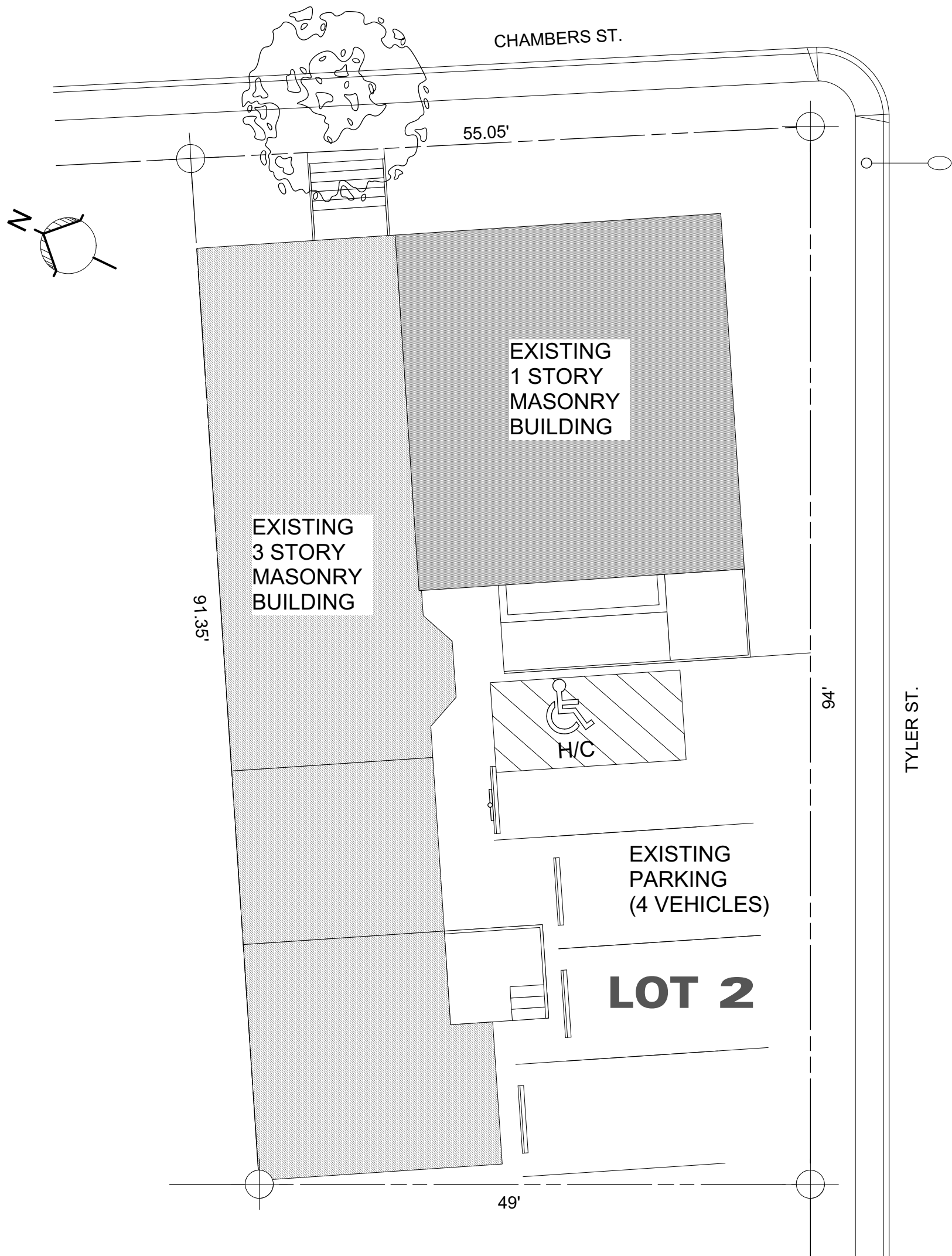
## INTERIOR RENOVATION & IMPROVEMENTS



EXISTING FRONT EXTERIOR VIEW  
(CHAMBERS ST. & TYLER ST.)



EXISTING REAR EXTERIOR VIEW  
(TYLER ST.)



EXISTING LOCATION PLAN  
Scale: 1" = 10 ft

### ZONING INFORMATION

BLOCK: 14208

LOT: 2

ZONING: Residential District (RB)

\*Non Conforming Office Use

#### SCOPE OF WORK

The Owner proposes an interior renovation of a 3 - Story Non Conforming Commercial Building (Medical Offices) for Four Professional Space Offices including improvements to the existing Basement Areas.

SITE COVERAGE: 4,822.25 SF (55.05' x 94')  
(0.11 Acre)  
\*Irregular Size

BUILDING SIZE (FOOTPRINT): 2,754.23 SF (83 Ft. x 46.7 Ft.)

#### BUILDING COVERAGE (PROPOSED OFFICES)

##### BASEMENT

-Bas. No. 1 1,120 SF  
-Bas. No. 2 823 SF

##### FIRST FLOOR

-Space Office 1 1,056 SF  
-Space Office 2 843 SF  
-Space Office 3 345 SF

##### SECOND FLOOR

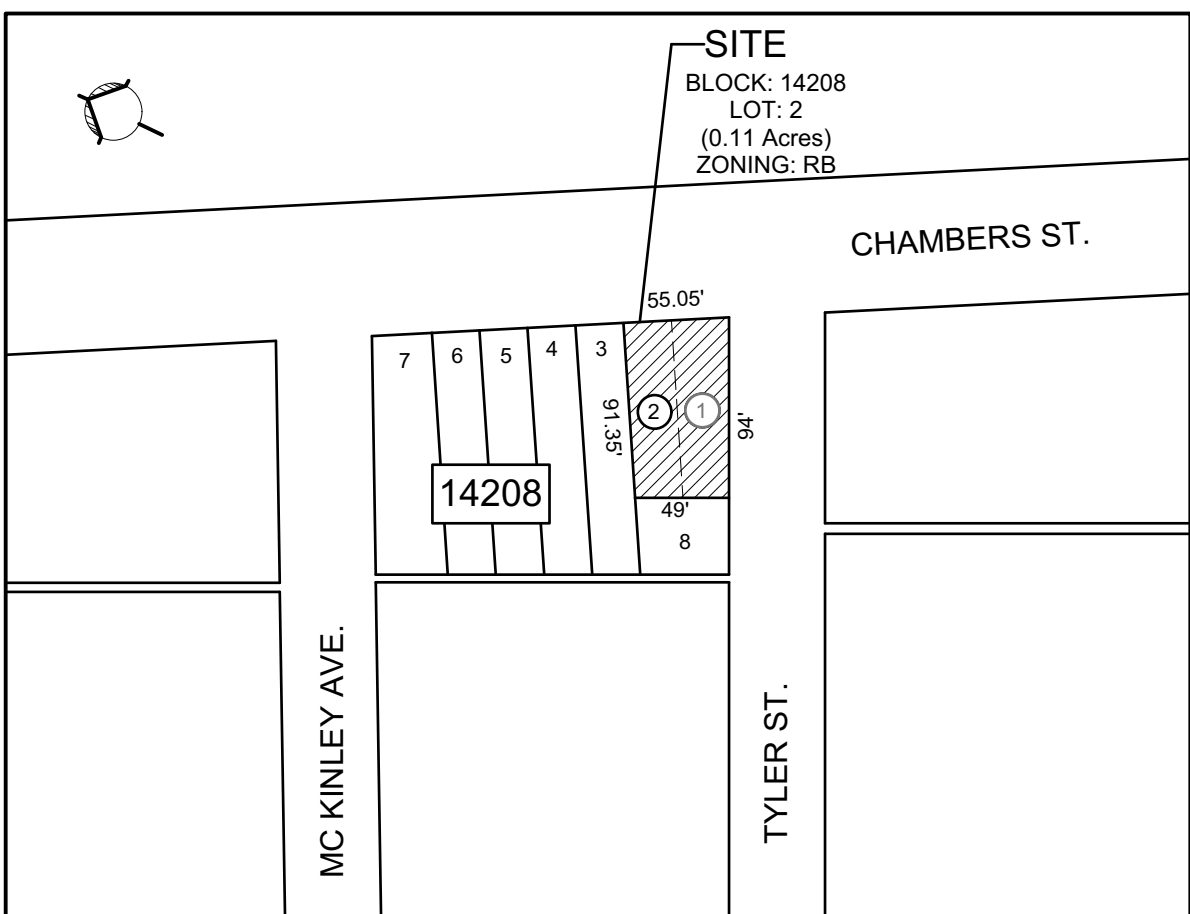
-Space Office 4 889 SF

##### THIRD FLOOR

-Space Office 5 513 SF

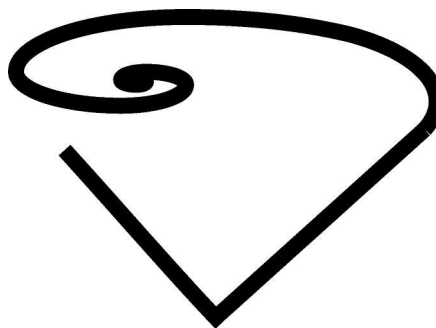
#### OFF-STREET PARKING

Existing 4 Parking Spaces



PLOT & VICINITY MAP  
Scale: 1"= 100 ft

SOURCE: TAX MAP  
CITY OF TRENTON  
NEW JERSEY, 2003



ARCHITECTURAL  
DESIGN  
STUDIO

Design Firm:

El Donaldo F. Vid, AI  
Architect, AIA

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Prepared for:

Project Title:

333 CHAMBERS ST.  
COMMERCIAL SPACES  
RENOVATION  
333 Chambers Street  
Trenton, New Jersey

Revision No. & Day	Description
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Sheet Title:

ZONING INFORMATION

Scale: As Noted

Drawing No:

A-1

1 of 7 Total Sheets

Drawing Day:

6th of December, 2016

Project ID:

EDV-C-78-16

CAD File Name:

CAD-EDV-78-16

Drawn by:

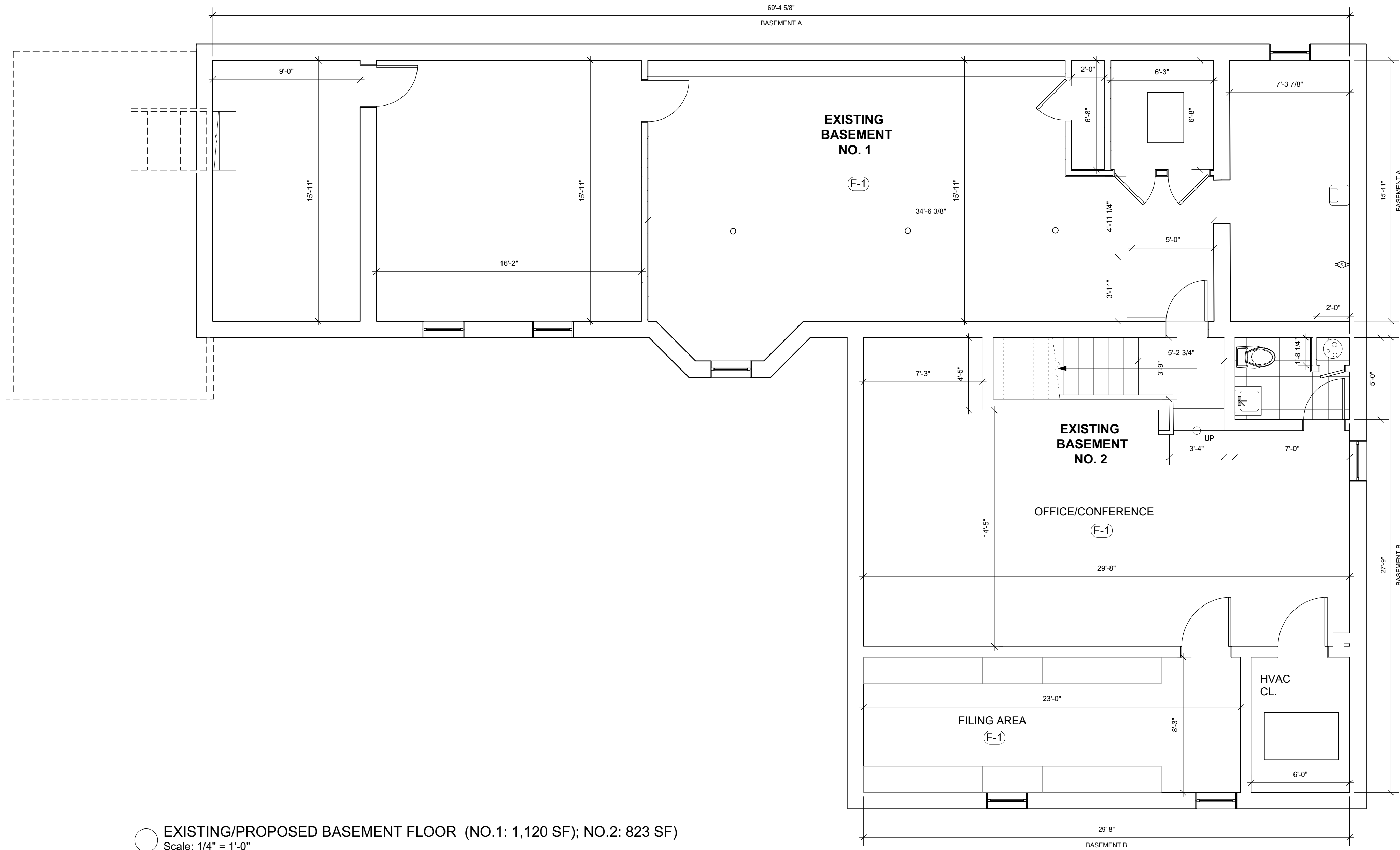
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EDFV

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## GENERAL NOTES

- Contractor is to verify all dimensions and existing conditions at the job site, architect is to be notified in writing of any discrepancies. These drawings are to scale as shown, when measured the written dimensions shall prevail.
- Contractor shall submit manufacturers data, shop drawings, colors, and samples to the owner for selection and approval prior to ordering and installation.
- Materials, assemblies and construction shall conform to the requirements of the latest construction codes as of the day of these plans as follows:
  - International Building Code, New Jersey Edition (2015)
  - National Electrical Code (NFPA 70)2014
  - National Standard Plumbing Code (2015)
  - International Energy Conservation Code (ANSI/ASHRAE/IESNA 90.1-2009)
  - ICC Rehabilitation Subcode
  - Accessible and Usable Buildings and Facilities (ICC/ANSI 117.1)-2009 and Barrier-Free Subcode 5:23-7
  - All Authorities having jurisdiction
- All concrete masonry units shall comply with ASTM C-90 and Portland cement shall comply with ASTM C-150, type-1. Fill all top courses solid.
- All concrete shall be 3,000 PSI at 28 days and shall comply with ACI-318 (latest addition) and ASTM-694. Concrete exposed to weathering and garage slabs shall be air entrained a min. 5% and a max. 7% and shall contain a min. cement content of 520 lbs. meeting ASTM C-150 or C-195, per cubic yard.
- All reinforcing steel shall comply with ASTM A-615, Fy=40,000.
- Dimensional framing lumber not exposed to weather shall be Hem Fir No. 2 or better, modulus of elasticity "E"=1,300,000, a base fiber stress bending "Fb"=850 PSI and a horizontal shear stress "Fv"=70 PSI, except studs may be Spruce Pine Fir Stud Grade. No utility grade or non stress grade lumber may be used for structural purposes.
- Dimensional framing lumber exposed to weather shall be preservative treated Southern Yellow Pine No. 2 or better, modulus of elasticity "E"=1,600,000 PSI and base fiber stress in bending "Fb"=950.
- Engineered lumber designated PSI, shall be ILevel "Truss Joist" or equal. Parallel strand lumber with a modulus of elasticity "E"=2,000,000 PSI, a fiber stress in bending "Fb"=2,900 PSI, and a horizontal shear stress "Fv"=290 PSI. Contractor shall refer final specs recommendations and methods of installation to the Manufacturer's Manuals and Guidelines. All product specs on these plans shall be referred to Manufacturer's recommendations.
- All electrical work shall be performed by a licensed electrician.
- All plumbing work shall be performed by a licensed plumber.
- Architect is not retained for any on site supervision or contract administration.
- All work is to be performed in the highest standards of the trades.
- Contractor to comply to all State and Local Ordinances. Contractor shall procure all necessary approvals, permits inspections, and licenses, and shall pay all fees required.
- All dimensions shall be approved by the Owner prior to construction prior to commencement of work.
- It shall be the responsibility of the General Contractor to coordinate all work with the structural, mechanical, electrical and other consultants. The General Contractor to submit a new layout if it becomes necessary for approval.
- All demolition shall be approved by the Owner prior to commencement of any work.
- Protect all existing work as new work progresses.
- Protect all existing construction that is to remain.
- Support all work as new work progresses.
- The contractor shall familiarize himself with all existing conditions at the job site prior to the start of any work.
- Match existing work where indicated to the same dimensions and consistency as that which exists.
- Replace and/or patch deficient substrate as uncovered or as directed by Architect, Engineer, Construction Official or Owner.
- Contractor is to provide access panels as required, needed or directed by Architect, Engineer, Construction Official or Owner.
- Contractor and/or Owner shall provide for the safety of all job related personnel as well as the General Public.
- Existing walls, floors and ceilings to remain as requirements dictate.
- All joist shall be provided with wood or metal diagonal bridging or solid wood bridging. (1) row for a span up to 12' or (2) rows for up to a span of 16'. (3) rows for a span up to 20'. Ceiling joist may be tied with plywood or strong backs at third points.
- All exterior lumber exposed to weathering, all foundation sill plates and all wood in contact with concrete slabs or grade shall be preservative treated all fasteners shall be hot dipped galvanized.
- Fire stop all soffits, walls, chases and concealed spaces.
- Gypsum wall board shall have a minimum thickness of 5/8" (UNO). All gypsum wall board in bathrooms and wet areas shall be moisture resistant type.
- Contractor shall provide a post and braces to accommodate the Architects job sign at a location to be determined by the Architect.
- Structural design data:

Commercial Floor	Roof
Live Load 100# s.f.	20# s.f.
Dead Load 10# s.f.	10# s.f.
Total Load 110# s.f.	30# s.f.

- Wind Load 15# s.f.
- Snow Load 20# s.f.
- Wind Load 15# s.f.
- Snow Load 20# s.f.

- Stair treads and risers: the maximum riser height shall be 7" and shall be solid, the minimum tread depth shall be 11" (measured between tread nosings). Treads shall have 1" nosings. Treads and risers shall be dimensionally uniform to a tolerance of 3/16" between any adjacent treads or risers or 3/8" between any two treads or risers in a flight of stairs.
- Handrails: all stairs with more than two risers shall have at least one handrail. Handrail grip size within a dwelling unit shall shall be 2 5/8" maximum cross sectional dimension. Handrails shall be located 34" to 38" above stair nosings. Handrails shall have a minimum 1 1/2" clearance from adjacent wall or other surfaces and shall not project more than 4 1/2" into required stair width.
- Guard rails: all open sided walking surfaces over 30" above adjacent walking surfaces shall have a minimum 36" high guard rail. All stairs shall have guard rails at 34" minimum above stair nosings. Guard rails shall not allow a sphere of 4" to pass through except that the triangular area between the bottom of a guard rail and stair treads and risers shall not allow a sphere of 6" to pass through.

Change orders or extras are allowed unless expressed consent from the Owner or his/her representative, as well as extra work in this project.

The joints of the wall board shall be taped and provided with one layer of spackle.

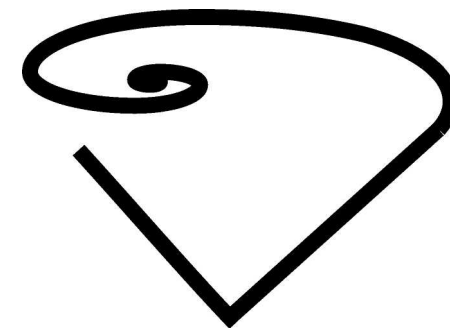
Girders consisting of a minimum of (3) 2x10 need no protection, smaller members, engineered lumber girders or steel girders shall be encased in a minimum two layers of 5/8" type x gypsum wall board. Base layer is required to be secured with a minimum of 1" screws at 12" o.c. and the face layer is required to be secured with a minimum of 1 5/8" screws at 12" o.c. The face layer shall be provided with tape and one layer of spackle.

## ELECTRICAL NOTES

- The contractor is responsible for all work, material and labor to satisfy a complete and working system whether specified or implied.
- The contractor shall secure all permits and applications and shall pay any associated fees.
- The contractor shall verify the exact location of all new equipment with the Owner's agents.
- Electrical contractor to make all electrical connections to equipment supplied by others.
- All work shall be in conformance with the latest National Electric Code as adopted and modified by the New Jersey Uniform Construction Code.
- The Electrical contractor is responsible for coordination with all other trades and for procurement of all required inspections. No work shall be closed in until inspected and approved.
- Contractor to confirm exact location of meters with the electrical utility company. Contractor to provide and install all wiring, troughs, meter sockets, hubs and connections in accordance with the utility company. Contractor shall upgrade wiring system as required.
- Contractor is responsible for the complete fire detection system.
- Contractor shall install all wiring, panels, conduits, switches and light fixtures as indicated on the drawings or otherwise called for.
- No circuit shall be smaller than 15 amps with #14 Awg and no more than 1.4 KVA connected load. Connected loads shall be as evenly distributed as possible among circuits.
- Home run circuits more than 75 feet from the panel board shall be #10 Awg or larger as required to limit voltage drop to 2% maximum.
- Steel reinforcement system in continuous footings shall be electrically bonded with a #4 copper wire and shall return to the main service ground.
- All materials shall be of a domestic manufacturer.
- All switches shall be silent.
- Contractor shall verify the capacity of the existing system before final bid and shall repair/replace as required.
- Provide a type directory of all equipment that each circuit controls.
- Outlet boxes and switches: where multiple devices are mounted together, a gang box shall be used with suitable gang cover.
- Provide ground fault interrupter to all receptacle outlets at all bathrooms, kitchens, basements, garages and exterior locations. Bathroom GFI and Kitchen GFI receptacles shall be on dedicated circuits, 20 amp, #12 wire min.
- Method of bonding: All metal parts associated with the spa or hot tub shall be bonded by a copper bonding jumper, insulated, not smaller than a No. 8 solid.
- Provide a copy of any Underwriters Certificates and operational manuals to the Owner upon completion of work.
- Smoke detectors shall be 110v interwired interconnected with battery backup. Smoke detectors shall be installed in every sleeping rooms.
- Provide Nail Plate @ wall studs where required.
- All fire safety alarm devices shall be interconnected throughout a central station.
- All electrical work shall be done by an Electrician licensed to do work in the State of New Jersey.

## PLUMBING NOTES

- All work to be performed in strict compliance with the latest edition of the National Standard Plumbing Code as adopted and modified by the New Jersey Uniform Construction Code.
- Furnish all labor, materials and equipment necessary for a complete execution of all plumbing and related work indicated within the construction documents, in order to satisfy a complete and working system whether specified or implied.
- Contractor shall secure all required permits and applications and pay any associated fees.
- Provide connection to existing domestic water system (where applicable). Provide all necessary valves and fittings, etc.
- Where applicable provide connection to existing sewerage disposal system, and alterations as may be necessary.
- Where applicable provide connections to existing sanitary drainage system including all soil, waste and vent piping, and connection to all fixtures and equipment. All waste piping to be ABS plastic or no hub cast iron.
- Complete domestic hot and cold water distribution systems, including water heater and connections to all piping and fixtures. All supply piping shall be type L copper tubing. Provide shut off valves at all fixtures and provisions to prevent water hammer.
- Furnish and install all fixtures indicated in the construction documents.
- All hot water piping shall be insulated with a minimum one inch fiberglass jacketed insulation, cold water piping with 1/2" foam insulation, with a maximum flame spread rating of 25 and maximum smoke developing rating of 50 (ASTM E84). Insulate hot water pipe on lavatory.
- Plumbing system shall be cleaned, flow and pressure tested in accordance with adopted code procedures and standard practice.
- Provide all excavation, backfilling, cutting, patching and supports for all pipe lines as required. All penetrations of building foundation walls, shall be sleeved. No penetration of footings shall be allowed.
- The contractor shall guarantee that all materials and equipment furnished by him shall be free from defects and shall function properly for a period of at least one year from the date of acceptance. All materials shall be of first quality and of domestic manufacturer.
- All plumbing work shall be done by a plumber licensed to do work in the state of New Jersey.
- All natural gas piping shall be in accordance with AGA standards.
- Water closets shall be 1.6 gallons maximum.
- Floor drains shall be self priming or 4" deep seal trap type.
- Hot water heater shall be 110 degrees F, maximum water temperature. The Water Heater shall be equipped with a tempering valve.
- Provide 110 degrees F, maximum temperature control faucets on all lavatories.
- Water heaters shall be equipped with vacuum relief on cold water lines and overflow drain and pan if located above floor level.



ARCHITECTURAL  
DESIGN  
STUDIO

Design Firm:

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Architect, AIA

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Prepared for:

Project Title:

333 CHAMBERS ST.  
COMMERCIAL SPACES  
RENOVATION  
333 Chambers Street  
Trenton, New Jersey

Revision No. & Day	Description

Sheet Title:

BASEMENT FLOOR PLAN  
AND NOTES

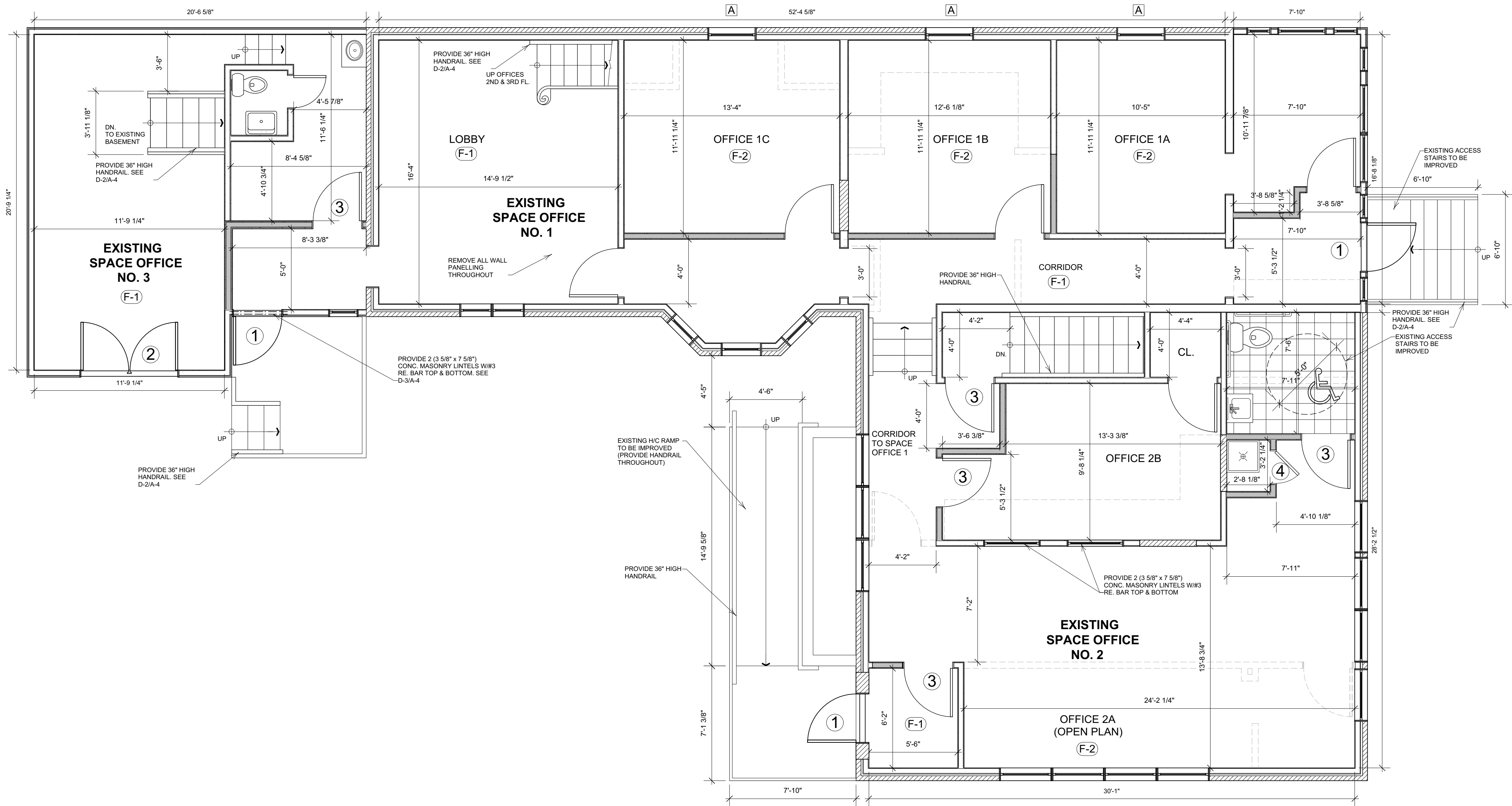
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Drawing No:	A-2 2 of 7 Total Sheets
Drawing Day:	6th of December, 2016
Project ID:	EDV-C-78-16
CAD File Name:	CAD-EDV-78-16
Drawn by:	
Check by:	EDFV

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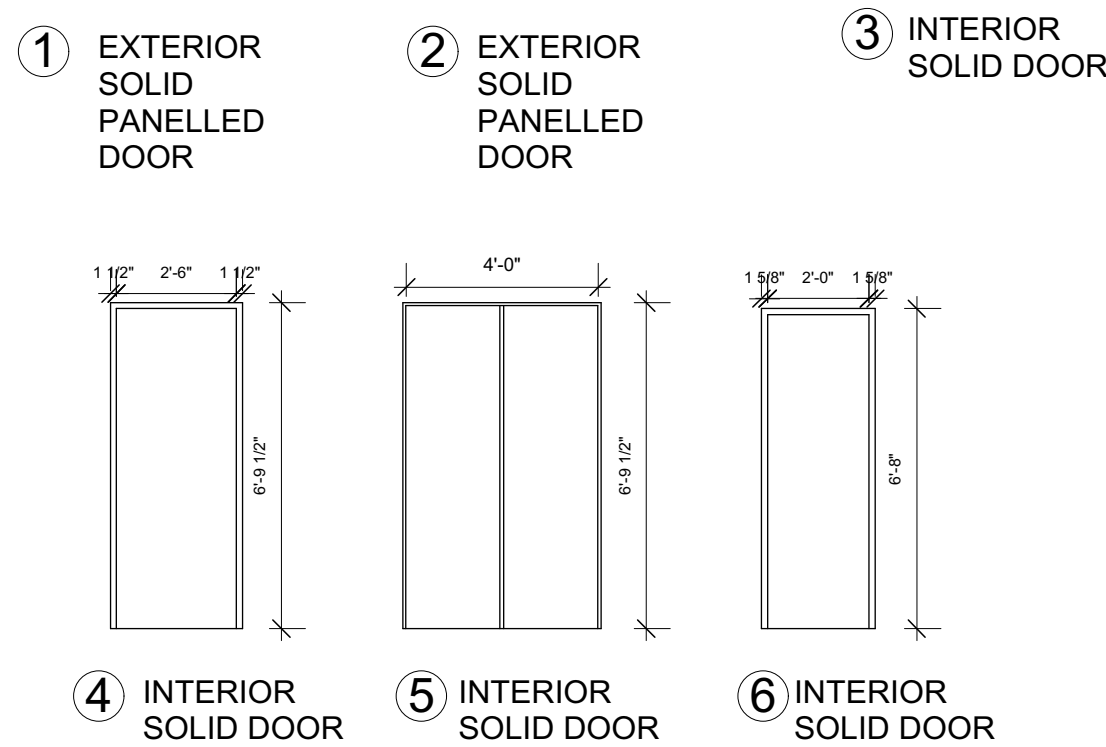
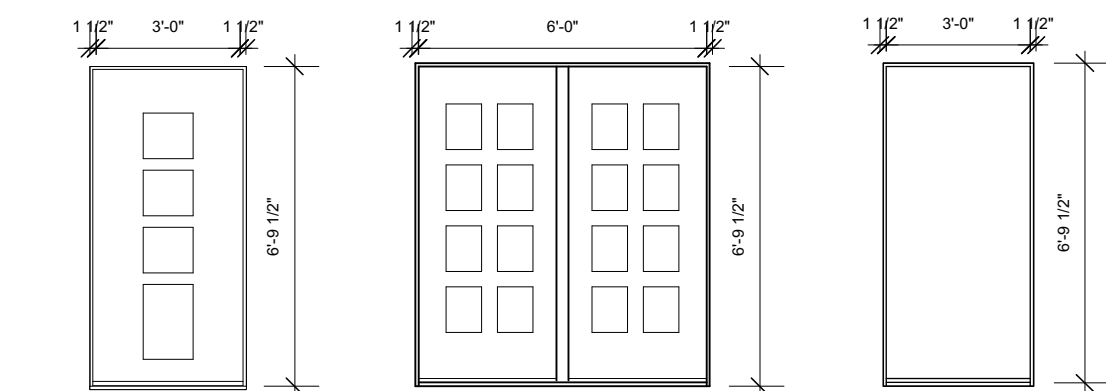
PROPOSED FIRST FLOOR (NO.1: 763 SF; NO. 2: 848 SF; NO. 3: 647 SF)  
Scale: 1/4" = 1'-0"

#### FLOOR FINISHES LEGEND

- (F-1) CERAMIC TILE (12" x 12")  
(F-2) COMMERCIAL CARPET

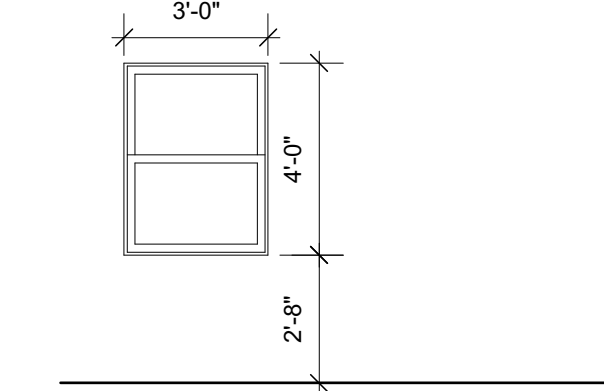
#### WALL LEGEND

- EXISTING EXT. MASONRY WALL  
EXISTING EXT. FRAMING WALL  
EXISTING EXT. BASEMENT MASONRY WALL  
EXISTING 2 x 4 INT. GYP. BD. WALL  
NEW 2 x 4 INT. GYP. BD. WALL  
SEE D- 1/A-4  
NEW 2 x 4 INT. GYP. BD. F.R. WALL  
(PROVIDE 2 - 5/8" F.R. GYP. BD.  
ON BOTH SIDES). SEE D-1/A-4  
DENOTES SELECTIVE INT. WALL DEMOLITION  
DENOTES BLOCKING OF EXISTING OPENING



DOOR SCHEDULE  
Scale: 1/4" = 1'-0"

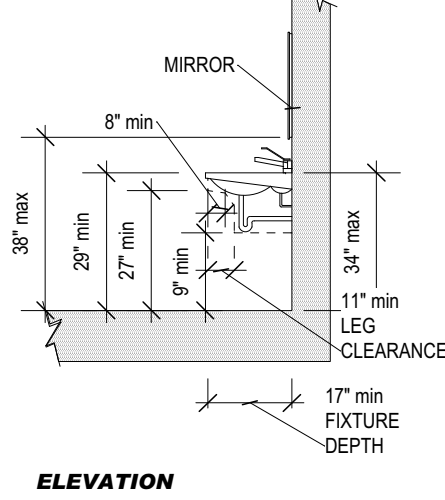
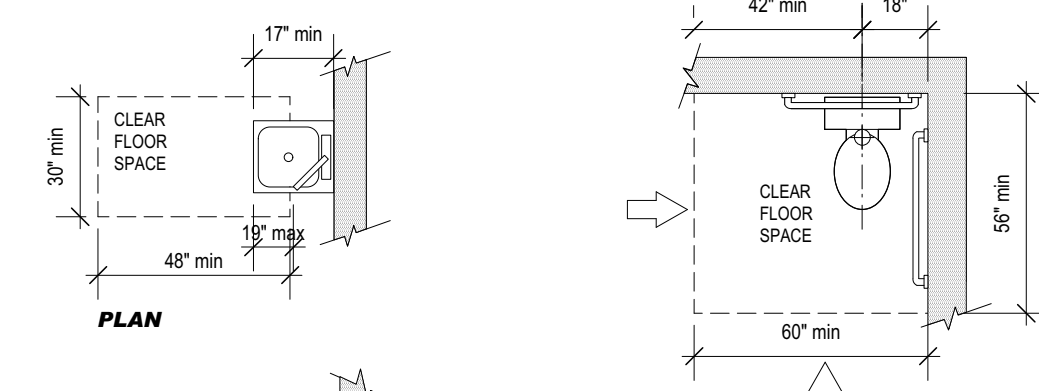
DOOR HARDWARE SCHEDULE  
-HINGES: 3" COMMERCIAL BRASS (BY  
BALDWIN OR EQUAL)  
-LEVER PASSAGE DOOR SET, 34"-36"  
MAX. HGHT. (BY KWIKSET OR EQUAL)



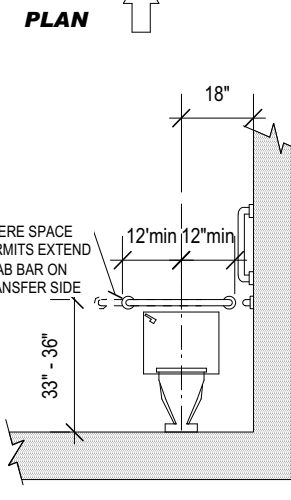
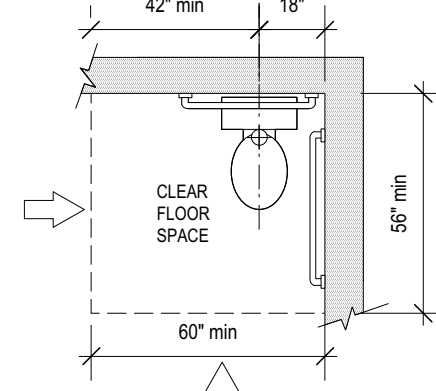
WINDOW SCHEDULE  
Scale: 1/4" = 1'-0"

#### WINDOWS NOTE

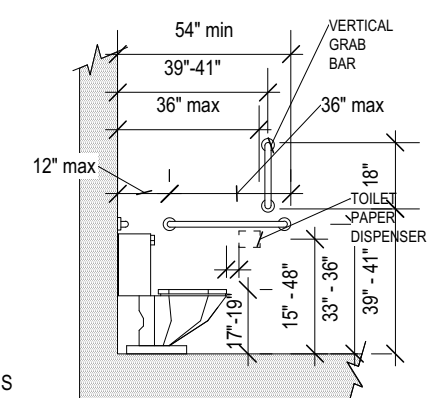
CONTRACTOR SHALL CHECK ALL EXISTING  
WINDOWS ASSEMBLIES FOR INTEGRITY, AND  
REPLACE THEM IN KIND



ELEVATION



ELEVATION



ELEVATION

GRAB BARS NOTE:  
PROVIDE WALL  
FRAMING BLOCKING  
@ GRAB BARS LOCATIONS

**BARRIER FREE TOILET ROOM**  
SOURCE: CABO/ANSI



Design Firm:  
**El Donaldo F. Vid, AI**  
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Prepared for:

Project Title:  
**333 CHAMBERS ST.  
COMMERCIAL SPACES  
RENOVATION**  
333 Chambers Street  
Trenton, New Jersey

Revision No. & Day	Description

Sheet Title:  
**FIRST FLOOR PLAN**

Drawing No: **A-3**  
3 of 7 Total Sheets

Drawing Day:  
**6th of December, 2016**

Project ID:  
**EDV-C-78-16**

CAD File Name:  
**CAD-EDV-78-16**

Drawn by:  
**EDFV**

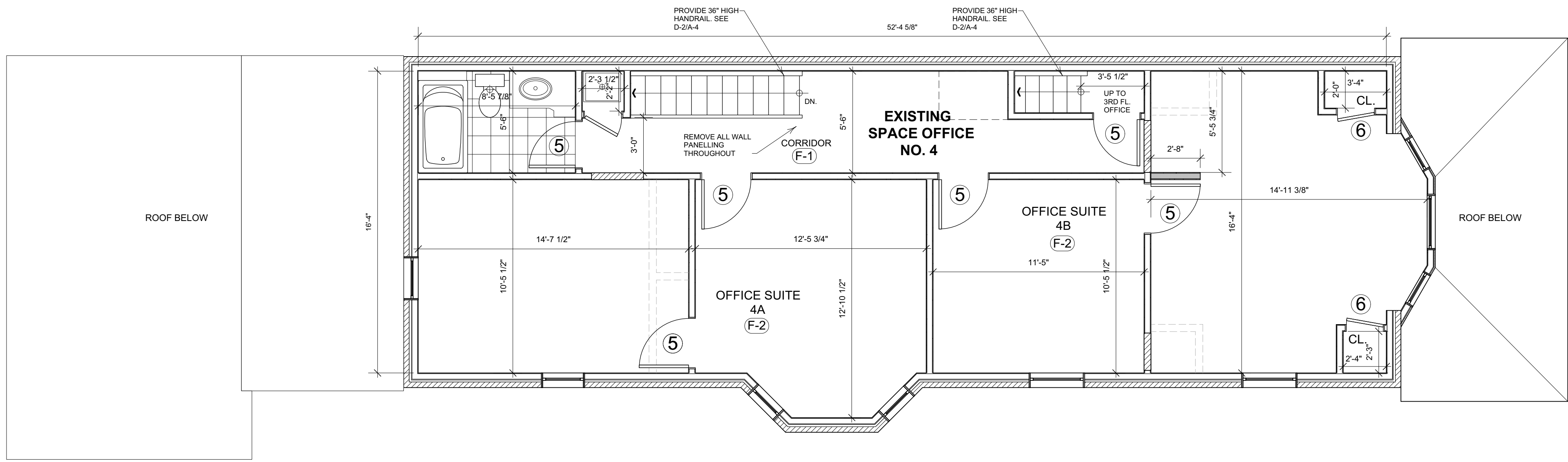
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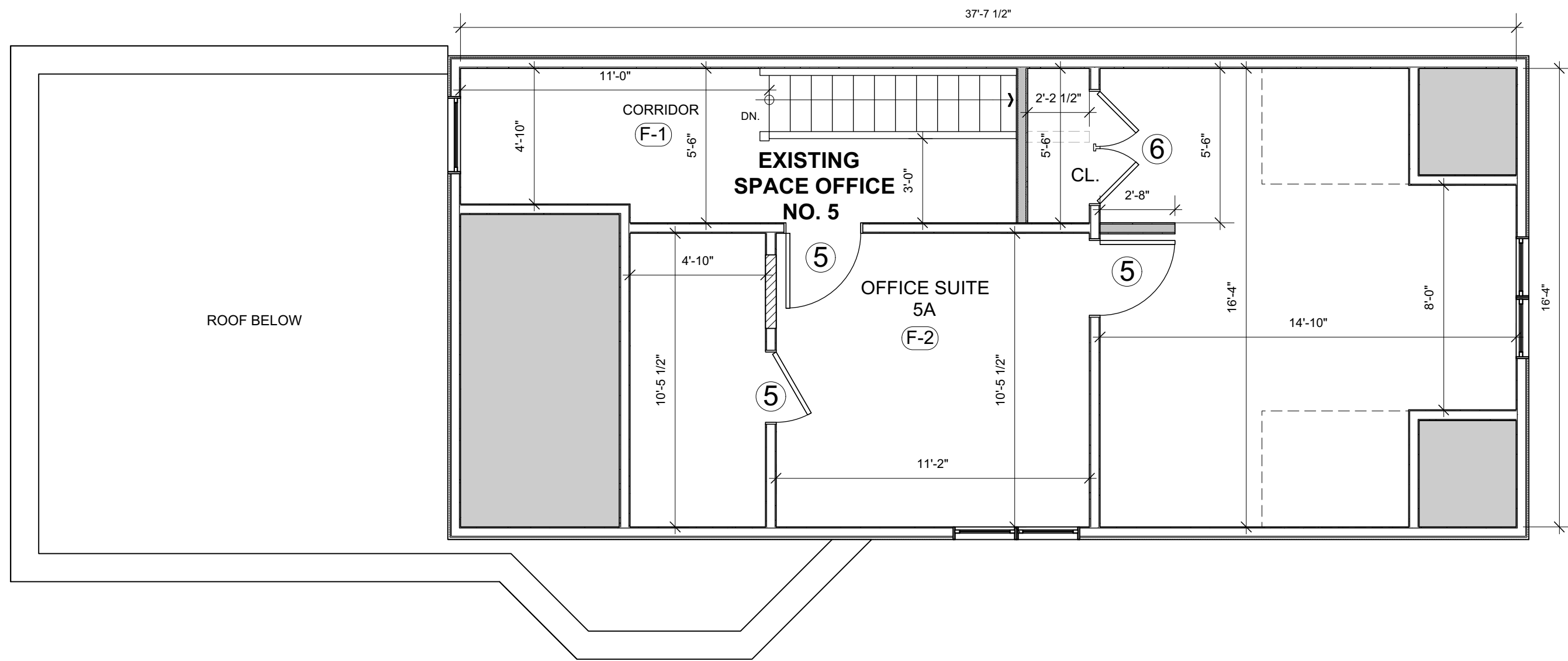
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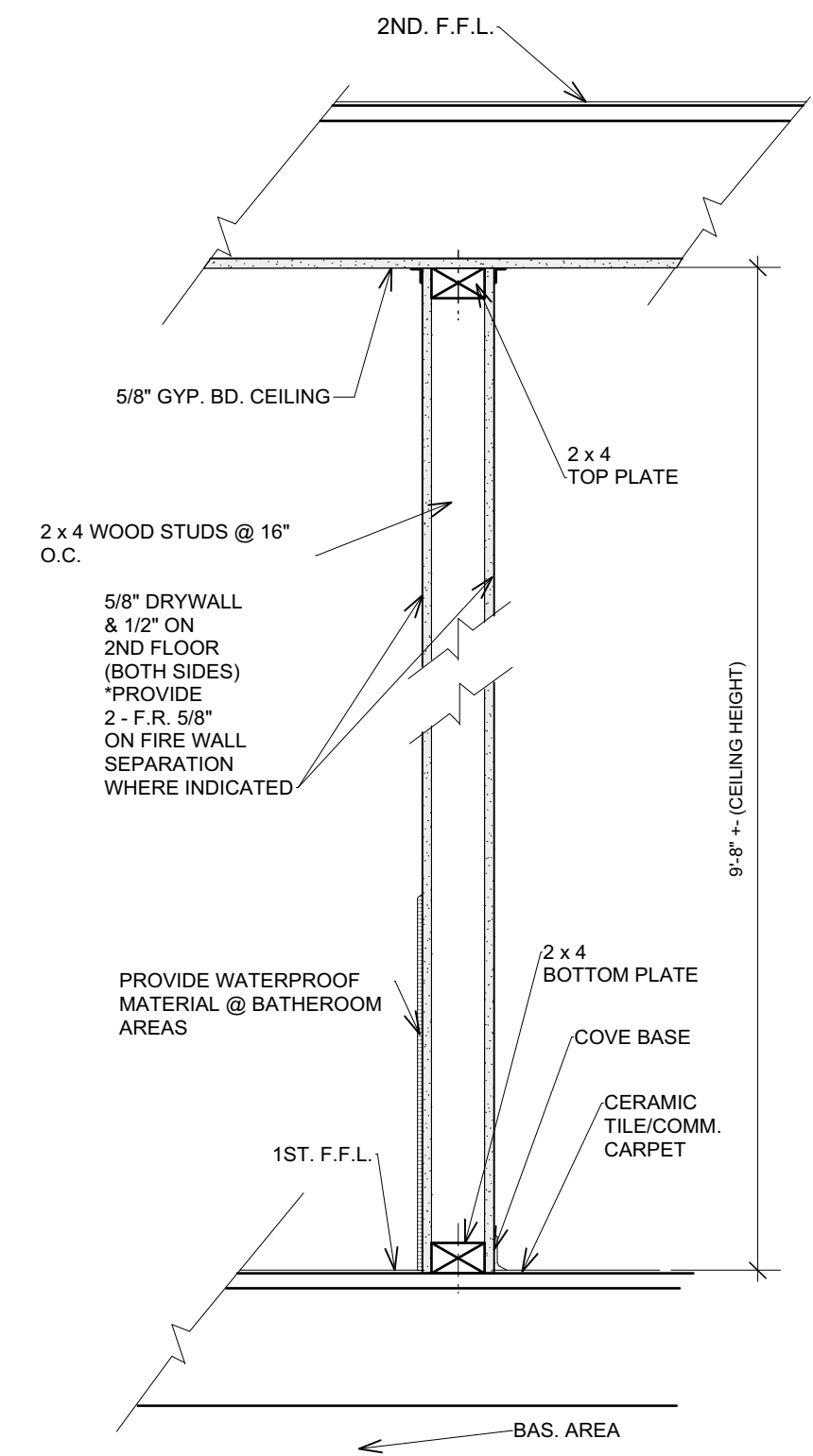


PROPOSED SECOND FLOOR (889 SF)  
Scale: 1/4" = 1'-0"

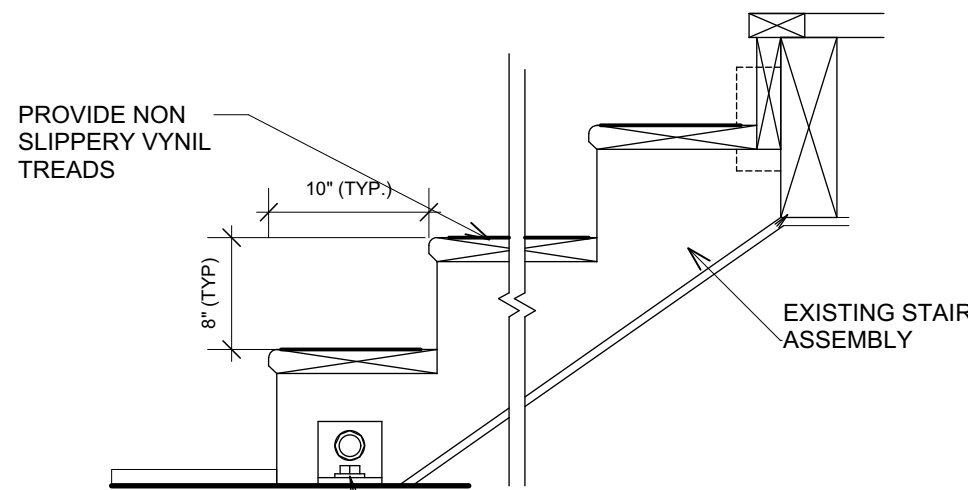
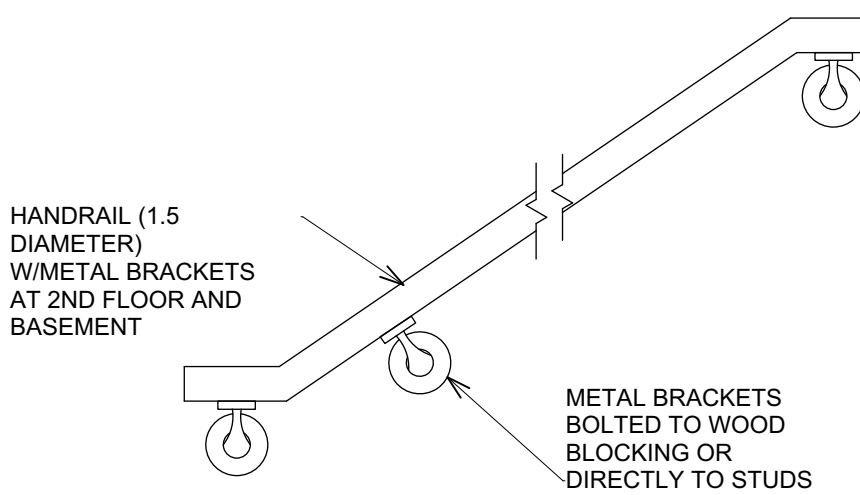


PROPOSED THIRD FLOOR (513 SF)  
Scale: 1/4" = 1'-0"

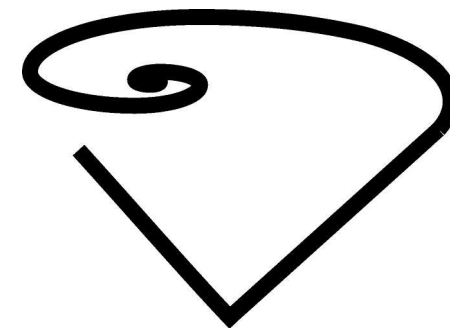
C.M.U. LINTEL  
Scale: 1" = 1'-0"



INTERIOR PARTITION  
Scale: 1" = 1'-0"



STAIR DETAIL  
Scale: 1" = 1'-0"



ARCHITECTURAL  
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Revision No. & Day

Description

Sheet Title:

2ND, 3RD FLOOR PLANS  
AND DETAILS

Scale: As Noted

Drawing No:

A-4

4 of 7 Total Sheets

Drawing Day:

6th of December, 2016

Project ID:

EDV-C-78-16

CAD File Name:

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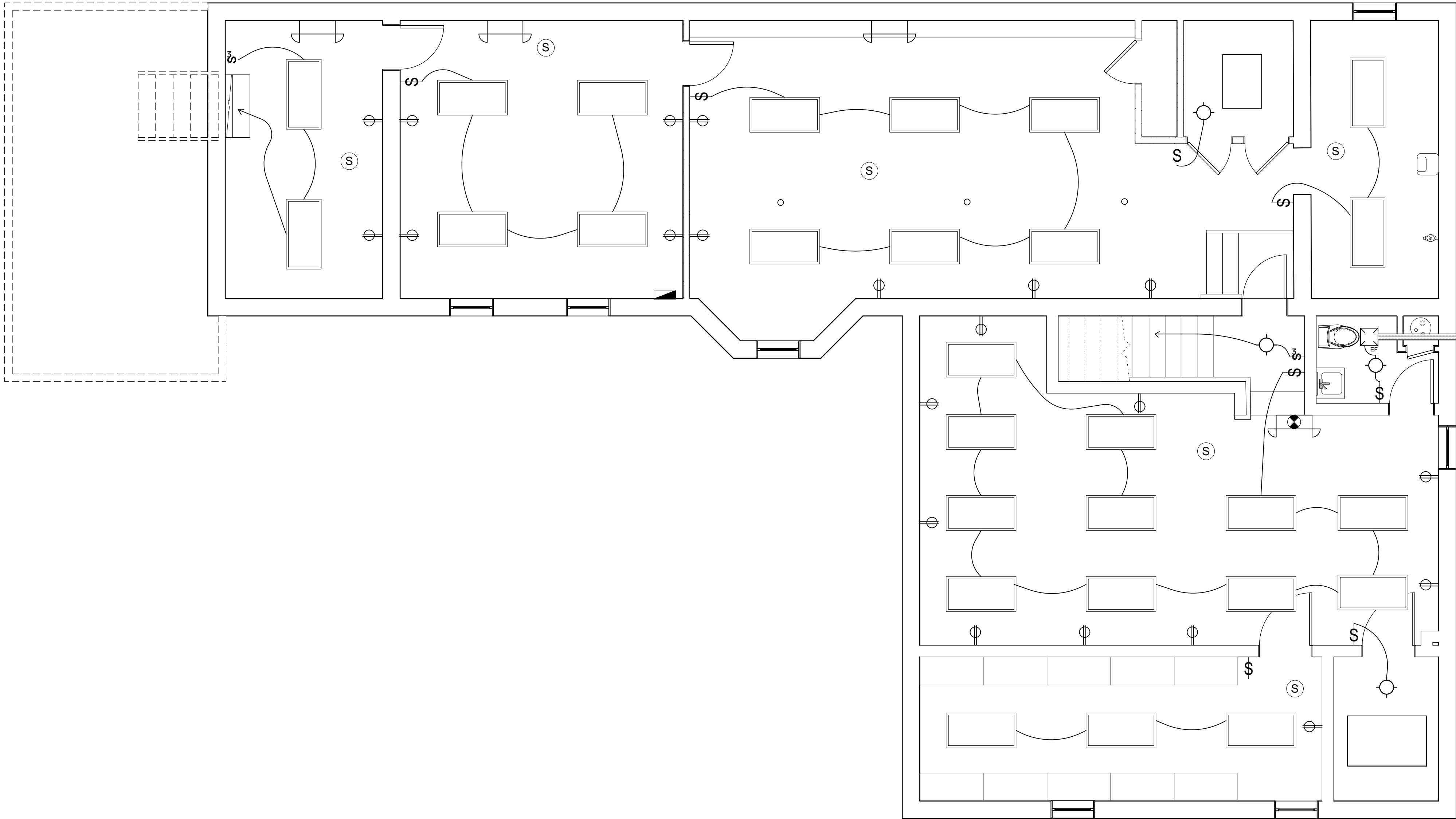
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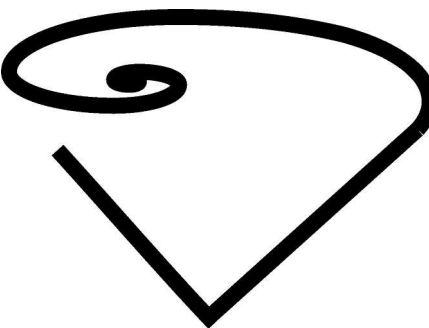
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EXISTING/PROPOSED BASEMENT ELCTRICAL PLAN  
Scale: 1/4" = 1'-0"



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STUDIO

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Revision No. & Day

Description

Sheet Title:

BASEMENT ELECTRICAL PLAN

Scale: As Noted

Drawing No:

A-5

5 of 7 Total Sheets

Drawing Day:

6th of December, 2016

Project ID:

EDV-C-78-16

CAD File Name:

CAD-EDV-78-16

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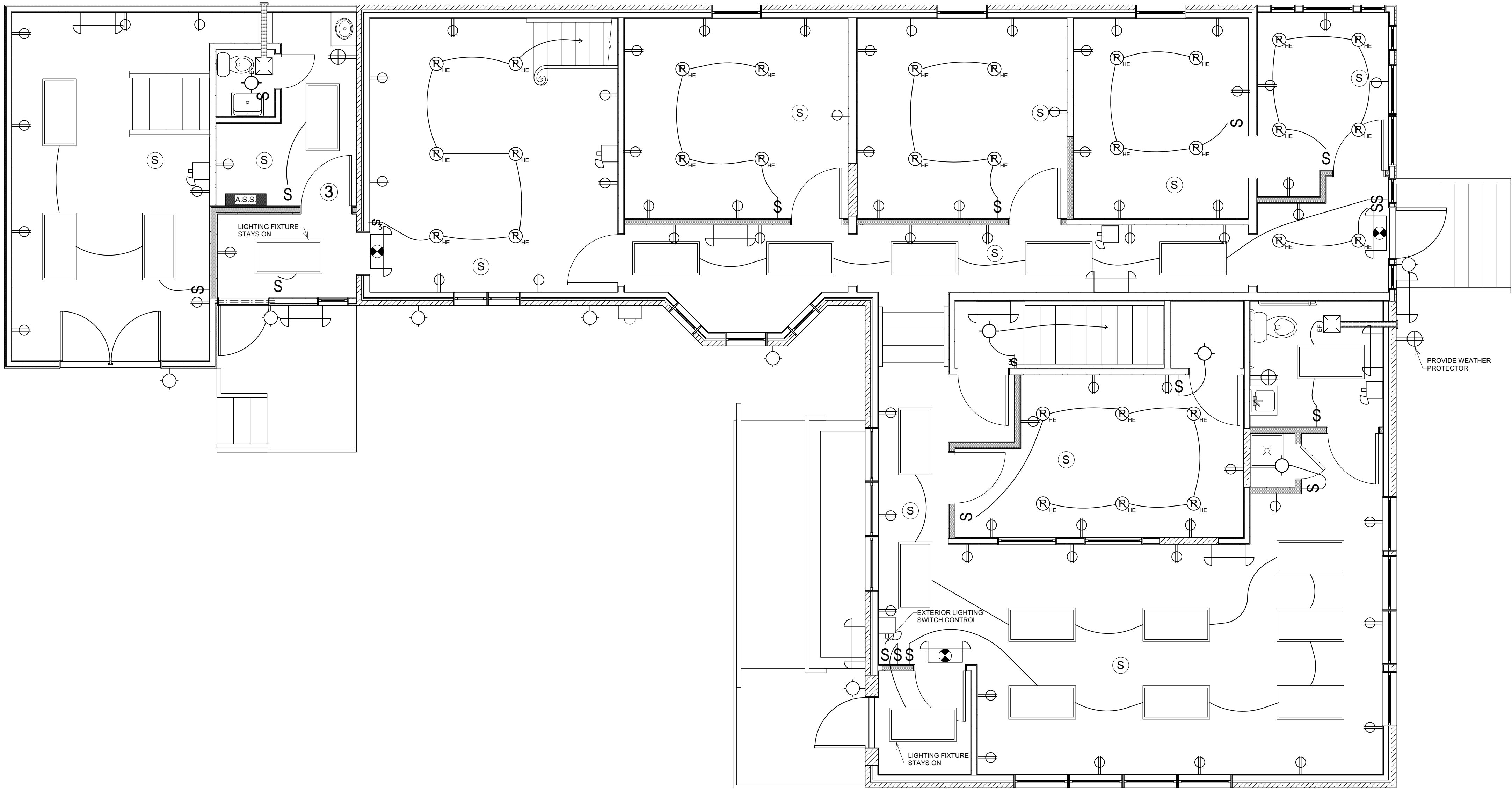
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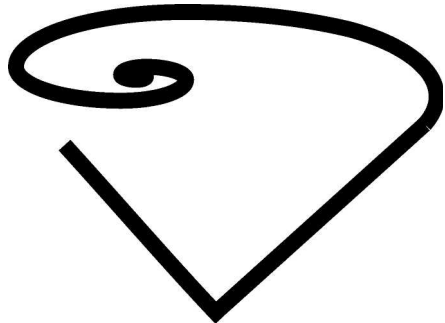


PROPOSED FIRST FLOOR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"

LEGEND

- (65) ADD 6" RECESSED HIGH EFFICACY LIGHTING FIXTURE
- (7) ADD CEILING MOUNTED LIGHTING FIXTURE
- (7) ADD WALL MOUNTED LIGHTING FIXTURE
- (30) ADD LIGHT SWITCH  
"MOUNTING HEIGHT SHALL BE 48"
- (4) ADD 3-WAY LIGHT SWITCH
- (6) LIGHTING AND EXIT SIGN PACK
- (12) EMERGENCY LIGHTING FIXTURE
- (112) ADD 110 V DOUBLE RECEPTACLE
- (4) ADD GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE (GFCI)  
PROVIDE PROTECTIVE COVER ON EXTERIOR APPLICATIONS
- (1) ADD EXHAUST FAN SYSTEM WINON COMBUSTIBLE DUCT  
(MODEL QTRN050F BY NUTONE OR EQUAL), PROVIDE 4" ROUND  
FLEX DUCT, OR NOTED OTHERWISE
- (25) ADD SMOKE ALARM (INTERCONNECTED TO EXISTING  
SENTRY MONITORING STATION)
- (1) ALARM MONITORING SENTRY STATION AT BASEMENT  
(FIRELITE ALARMS, BY HONEWELL)
- (2) EMERGENCY HORN & STROBE LIGHT FIXTURE
- (1) BRAKERS PANEL (40 SLOTS BY SQUARE D OR EQUAL)
- (1) BRAKERS SUB PANEL (20 SLOTS BY SQUARE D OR EQUAL)
- (50) 24 x 48  
ACOUSTICAL CEILING MOUNTED LIGHTING  
FIXTURE TROFFER
- (1 UNIT) PROPOSED ELECT. METER  
AND SERVICE REPLACEMENT (200 AMPS MIN.)

ELECTRICAL NOTE:  
-CONTRACTOR SHALL SEAL ALL PENETRATIONS WITH AN APPROVED  
SEALANT ON ELECTRICAL DEVICES THAT PENETRATE FIRE RATE  
ASSEMBLIES.  
-CONTRACTOR SHALL COORDINATE ALARM INTERCONNECTION W/  
ALARM SERVICES/FIRE DEPTS. WHERE APPLIES.  
-CONTRACTOR SHALL COORDINATE AND DETERMINE THE FINAL  
ELECTRICAL DROP SERVICE WITH THE UTILITY COMPANY.  
-PROPOSED LIGHTING FIXTURES SHALL BE HIGH EFFICACY THROUGHOUT  
\*REFER TO ELECTRICAL NOTES ON A-2



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DESIGN  
STUDIO

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333 CHAMBERS ST.  
COMMERCIAL SPACES  
RENOVATION  
333 Chambers Street  
Trenton, New Jersey

Project Title:

Revision No. & Day

Description

Sheet Title:

FIRST ELECTRICAL PLAN

Scale: As Noted

Drawing No:

A-6

6 of 7 Total Sheets

Drawing Day:

6th of December, 2016

Project ID:

EDV-C-78-16

CAD File Name:

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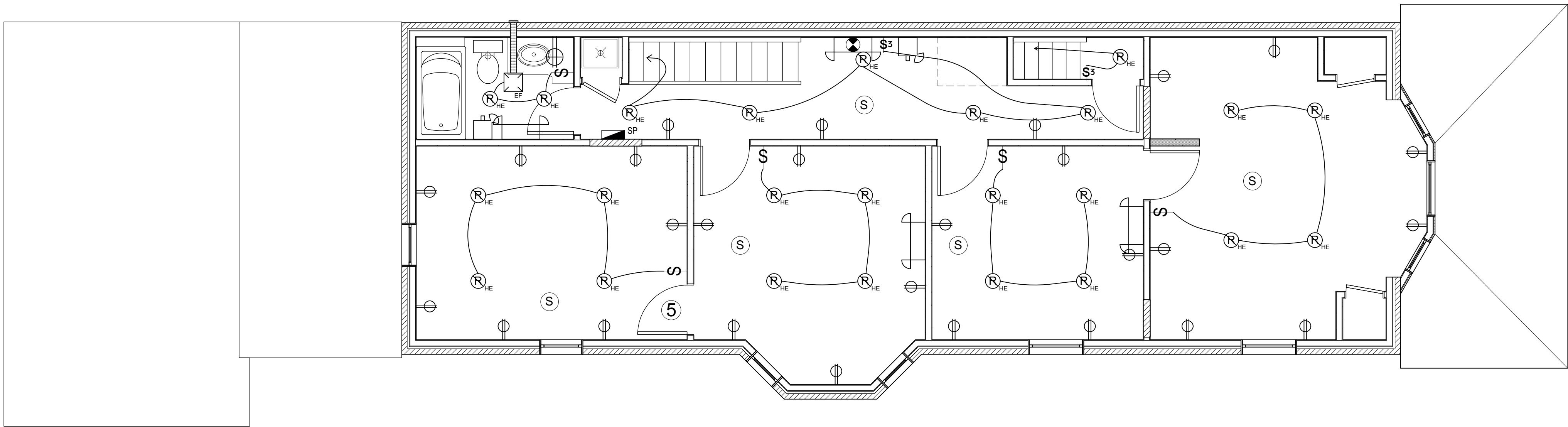
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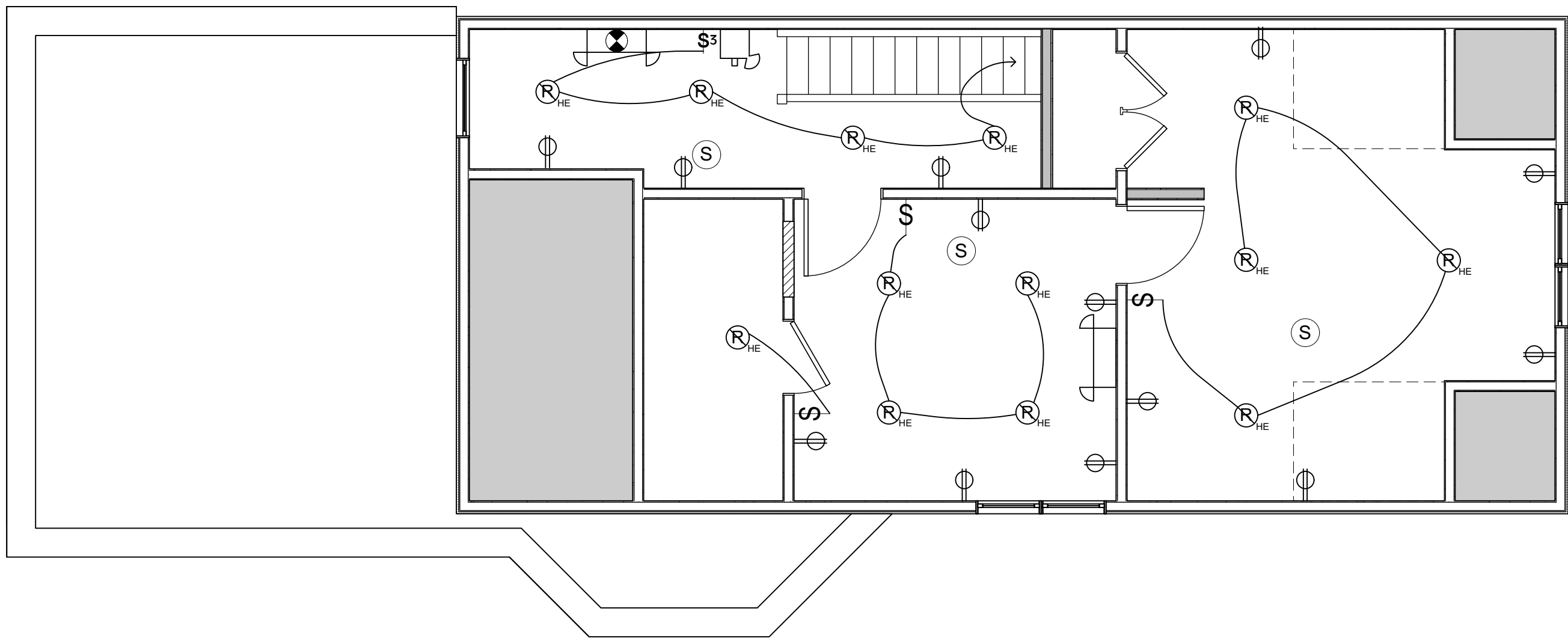
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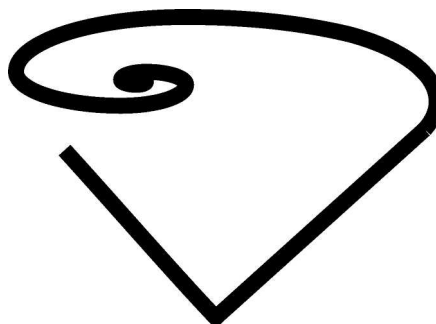
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PROPOSED SECOND FLOOR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"



PROPOSED THIRD FLOOR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"



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Revision No. & Day	Description

Sheet Title:

2ND & 3RD ELECTRICAL PLAN

Scale: As Noted

Drawing No:

A-7

7 of 7 Total Sheets

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